

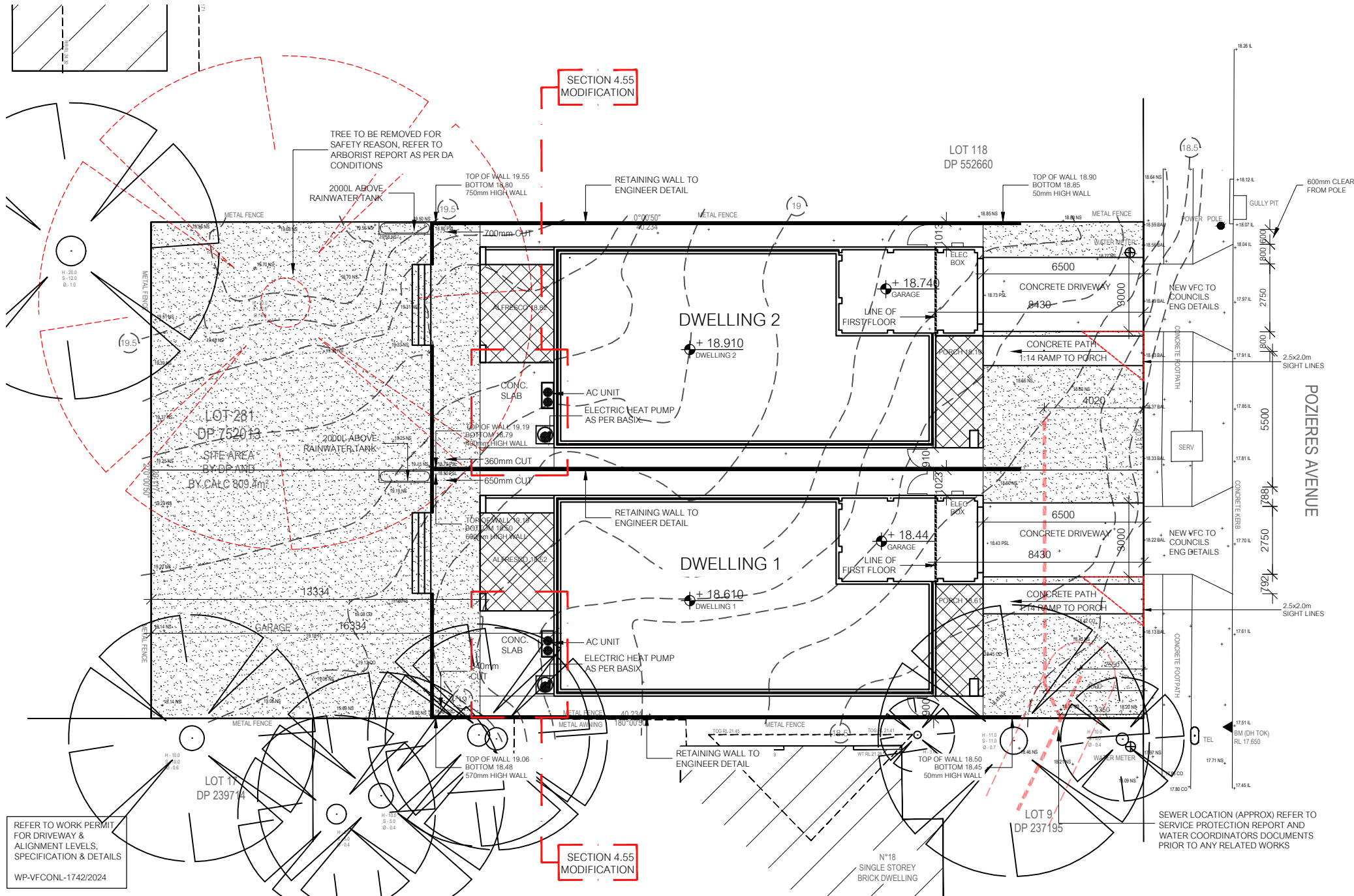
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NOTE: ALL DIMENSIONS IN MILLIMETRES UNLESS OTHERWISE NOTED

LEGEND

NGL Natural Ground Level
PGL Proposed Ground Level



REFER TO WORK PERMIT
FOR DRIVEWAY &
ALIGNMENT LEVELS,
SPECIFICATION & DETAILS
WP-VFCOYL-1742/2024

- The levels for the entire Street Boundary across your Site Frontage in: POZIERES AVE are to be 520mm above the invert of gutter.
- The levels are to be evenly graded between the kerb, any proposed (or existing) concrete footpaving, and your private land boundary.
- All levels are to be measured square to the kerb.



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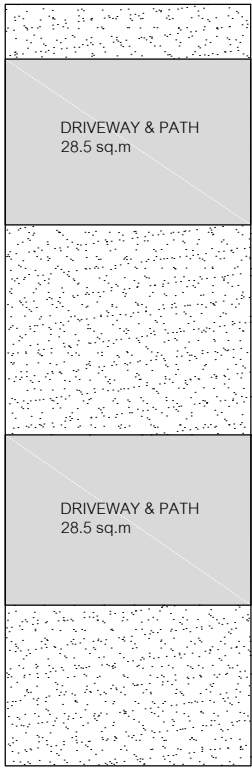
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FRONTAGE CALCULATION

FRONTAGE 130sq.m
LANDSCAPE: 73sq.m
HARDSURFACE: 57sq.m (43%)



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DIAL1100
BEFORE YOU DIG

BUILD AWAY FROM SEWER

AREA CALCULATIONS

Dwelling 1		Dwelling 2	
Site Area:	404.7m²	Site Area:	404.7m²
Gross Floor Area		Gross Floor Area	
Ground Floor:	102.00m²	Ground Floor:	102.00m²
First Floor:	100.00m²	First Floor:	100.00m²
- garage (none GFA)	-19.00m²	- garage (none GFA)	-19.00m²
- voids (none GFA)	-9.00m²	- voids (none GFA)	-9.00m²
- stairs (none GFA)	-5.00m²	- stairs (none GFA)	-5.00m²
Total:	202.00m²	Total:	202.00m²
Floor Space Ratio:	49.91%	Floor Space Ratio:	49.91%
Impervious Calculation		Impervious Calculation	
Pervious Area:	187.00m²	Pervious Area:	187.00m²
Impervious Area:	217.75m²	Impervious Area:	217.75m²
Total Impervious:	53.7%	Total Impervious:	53.7%

BASIX Certificate Notes

Water Commitments

Landscape

NOT APPLICABLE

Fixtures

The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.
The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development.
The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.

Alternative water

The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rain runoff from at least 160 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).

The applicant must connect the rainwater tank to:

- all toilets in the development
- the cold water tap that supplies each clothes washer in the development
- at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)

Energy Commitments

Hot water

The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 7 stars.

Cooling system

The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER > 4.0
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER > 4.0

Heating system

The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER > 4.0
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER > 4.0

Ventilation

The applicant must install the following exhaust systems in the development:
At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off

Artificial lighting

The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emittingdiode (LED) lamps.

Natural lighting

The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.

Other

The applicant must install a electric cooktop & electric oven in the kitchen of the dwelling.
The applicant must install a fixed outdoor clothes drying line as part of the development.



project details

SECTION 4.55

DETACHED TWO STOREY
DUAL OCCUPANCY

project address

20 POZIERES AVENUE
MILPERRA

client

MR HAYEK

23765

1:200

001

G

drawing

project no.

scale A3

drawing no.

issue

SITE PLAN

GENERAL NOTES

1. Site works will not start until the erosion and sediment control works outlined in clauses 2 to 4, below, are installed and functional.
2. The entry to and departure of vehicles from the site will be confined to one stabilised point. Sediment or barrier fencing will be used to restrict all vehicular movements to that point. Stabilisation will be achieved by either:
 - constructing a sealed (e.g. concrete or asphalt) driveway to the street
 - constructing a stabilised site access following (Detail A) or other suitable technique approved by the Council.
3. Sediment fences (Detail B) and barrier fences will be installed as shown on the attached drawing.
4. Topsoil from the work's area will be stripped and stockpiled (Detail C) for later use in landscaping the site.
5. All stockpiles will be placed in the location shown on the ESCP and at least 2 metres clear of all areas of possible areas of concentrated water flow, including driveways.
6. Lands to the rear of the allotment and on the footpath will not be disturbed during works except where essential, e.g. drainage works across the footpath. Where works are necessary, they will be undertaken in such a way to minimise the occurrence of soil erosion, even for short periods. They will be rehabilitated (grassed) as soon as possible. Stockpiles will not be placed on these lands and they will not be used as vehicle parking areas.
7. Approved bins for building waste, concrete and mortar slurries, paints, acid washings and litter will be provided and arrangements made for regular collection and disposal.
8. Guttering will be connected to the stormwater system or the rainwater tank as soon as practicable.
9. Topsoil will be respread and all disturbed areas will be stabilised within 20 working days of the completion of works.
10. All erosion and sediment controls will be checked at least weekly and after rain to ensure they are maintained in a fully functional condition.

SITE MANAGEMENT NOTES

1. No vehicle crossing or stockpiling of material should occur on the vegetated area.
2. All sediment control structures should be inspected & maintained by the site manager daily.
3. All sediment retaining structures should be cleaned on reaching 50% storage capacity. Sediment removed should be spread within the disturbed area.
4. All existing vegetation on the site perimeter must be retained.
5. Roof gutters and downpipes must be connected to the site drainage immediate after roof construction.
6. All disturbed area are to be re-vegetated or stabilised to prevent erosion i.e landscaping / mulching / turfing.
7. Material are not to be stored on the footpath.

STABILISED SITE ACCESS

1. Strip topsoil and level site.
2. Compact subgrade.
3. Cover area with needle-punched geotextile
4. Construct 200mm thick pad over geotextile using roadbase or 30mm aggregate. Minimum length 15 metres or to building alignment Minimum width 3 metres.
5. Construct Hump immediately within boundary to divert water to a sediment fence or other sediment trap.

SEDIMENT FENCE

1. Construct sediment fence as close as possible to parallel to the contours of the site
2. Drive 1.5m long star pickets into ground, 2.5m apart (max.)
3. Dig a 150mm deep trench along the up-slope line of the fence for the bottom of the fabric to be entrenched.
4. Fix self-supporting geotextile to up-slope line of the fence for the bottom of the fabric to be entrenched.
5. Join sections of fabric at a support post with a 150mm overlap.
6. Backfill the trench over the base of the fabric and compact it thoroughly over the geotextile.

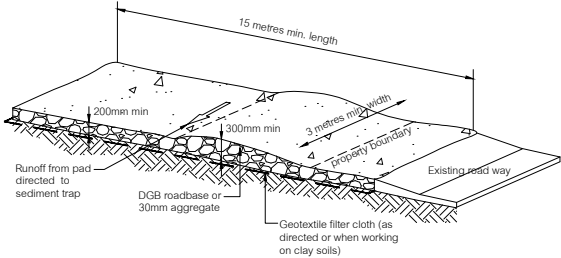
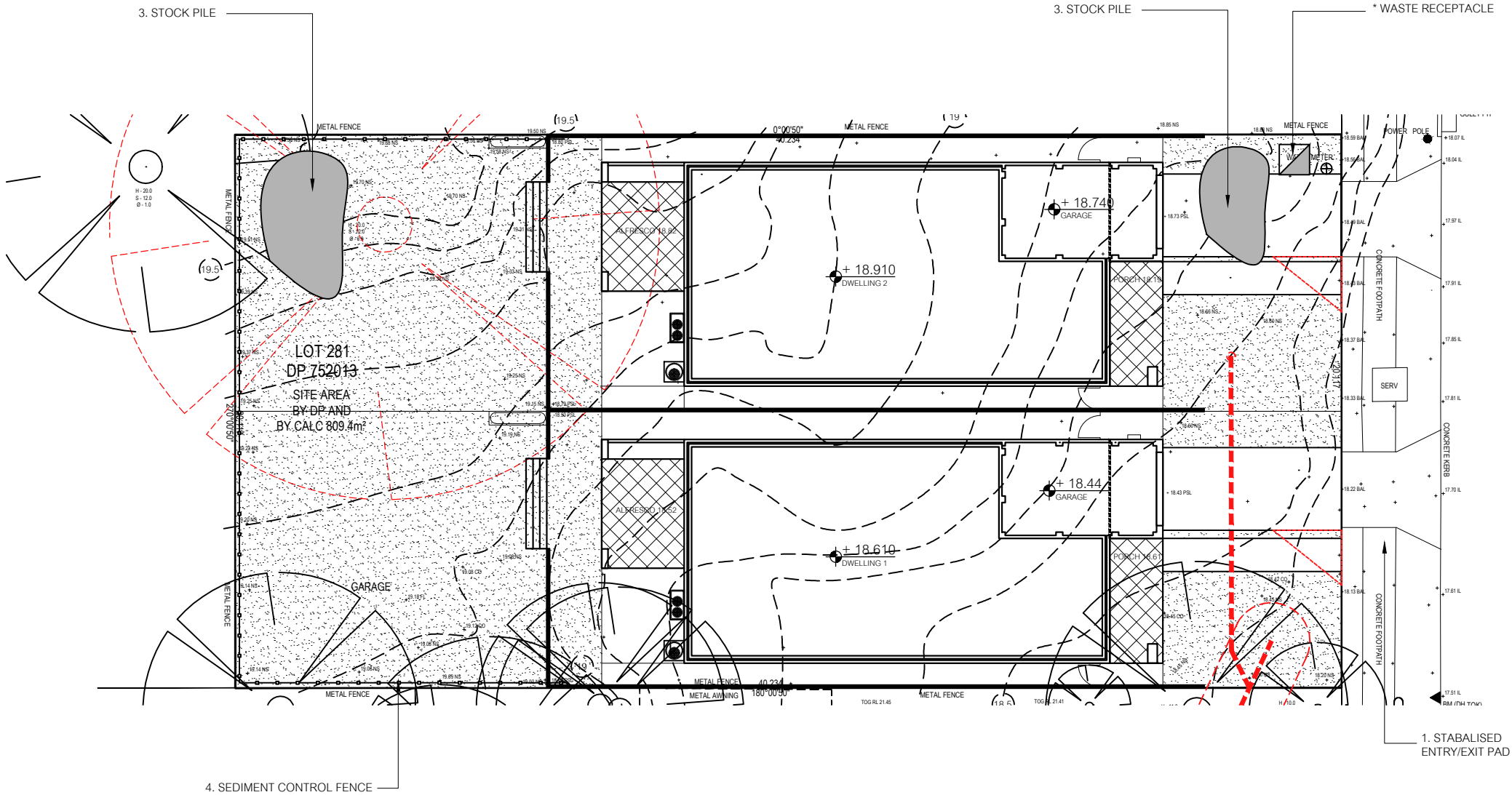
TOPSOIL STOCKPILE

1. Where possible locate stockpile at least 5 metres from existing vegetation, concentrated water flows, roads and hazard areas.
2. Compact on the contour as a low, flat elongated mound..
3. Where there is sufficient area topsoil stockpiles shall be less than 2 metres in height
4. Rehabilitate in accordance with the SWMP/ESCP.
5. Construct earth bank on the up-slope side to divert run off around the stockpile and a sediment fence 1 to 2 metres down-slope of stockpile

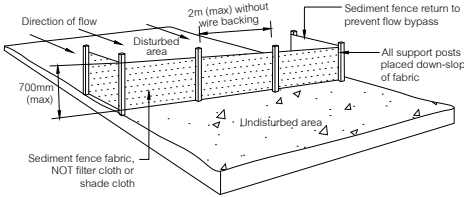
EARTH BANK

1. Construct with gradient of 1% to 5%
2. Avoid removing trees and shrubs if possible
3. Drains to be circular, parabolic or trapezoidal cross section not V-shaped
4. Earth banks to be adequately compacted in order to prevent failure.
5. Permanent or temporary stabilisation of the earth bank to be completed within 10 days of construction.
6. All outlets from disturbed lands are to feed into a sediment basin or similar. Discharge runoff collected from undisturbed lands onto either a stabilised or an undisturbed disposal site within the same sub-catchment area from which the water originated.
7. Compact bank with a suitable implement in situations where required to function for more than five days.
8. Earth banks to be free of projections or other irregularities that will impede normal flow.

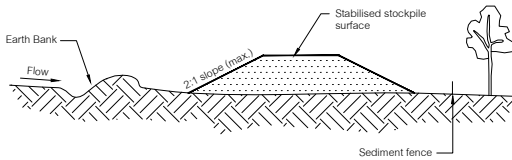
NOTE:
PROVIDE TEMPORARY CONSTRUCTION FENCING TO BOUNDARY INCLUDING A 3000MM WIDE ACCESS GATE TO FRONT BOUNDARY AS REQUIRED



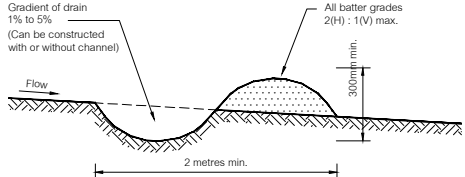
A STABILISED SITE ACCESS NTS



B SEDIMENT FENCE NTS



C TOPSOIL STOCKPILE NTS



D EARTH BANK NTS



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DUAL OCCUPANCY

project address

20 POZIERES AVENUE
MILPERRA

client

MR HAYEK

drawing

SEDIMENT CONTROL

project no.

scale A3

drawing no.

issue

23765

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NOTE:

All existing structures, concrete and paths on site to be demolished by licensed contractors.

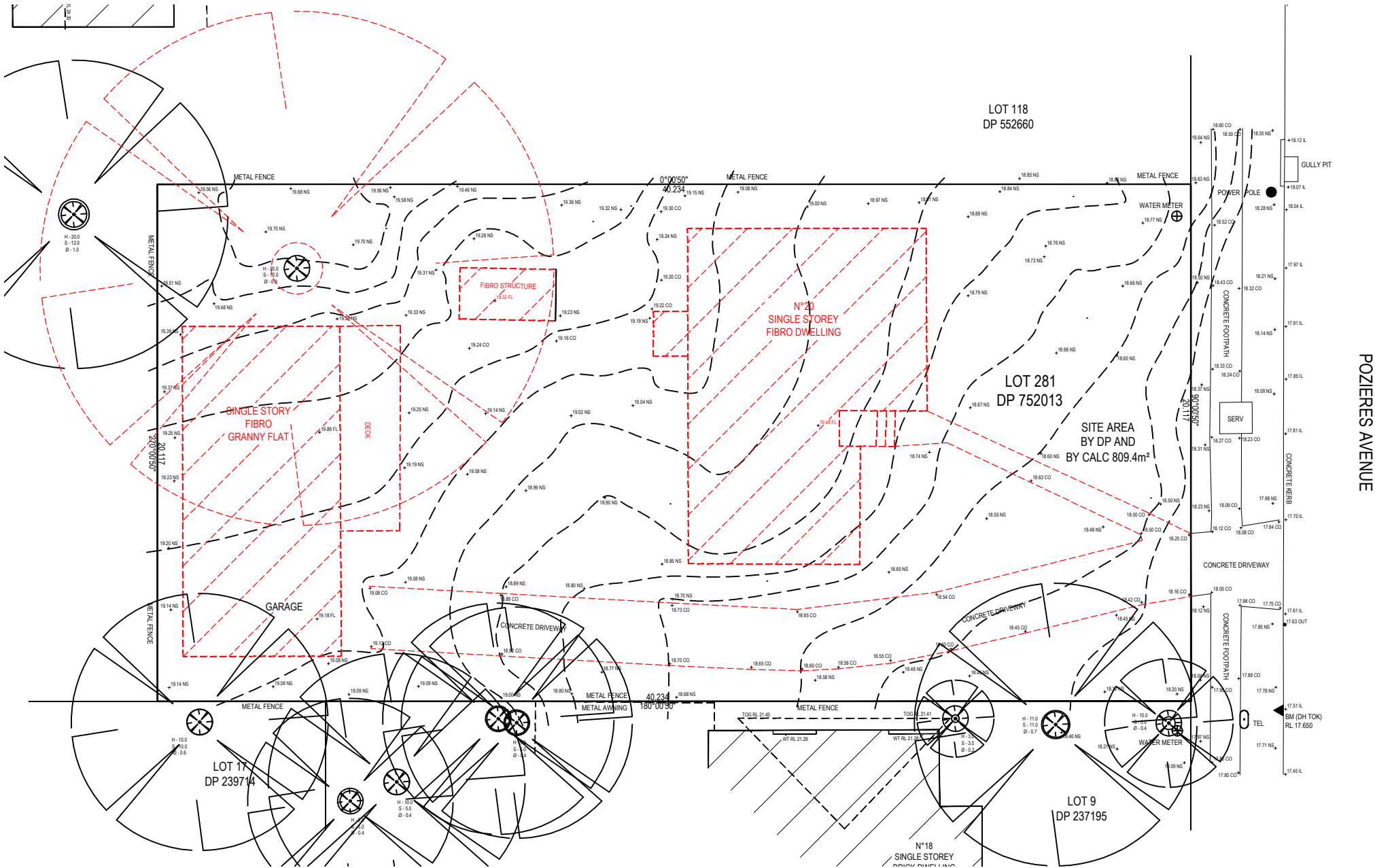
All demolition work must be carried out in accordance with Australian Standard 2601-1991 Demolition of Structures.

All demolition and disposal of asbestos must be undertaken in accordance with the requirements of the Occupational Health and Safety Regulations, Construction Safety Act, EPA and WorkCover.

--- STRUCTURES TO BE DEMOLISHED



TREES TO BE REMOVED



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MR HAYEK

drawing

DEMOLITION PLAN

project no.

scale A3

drawing no.

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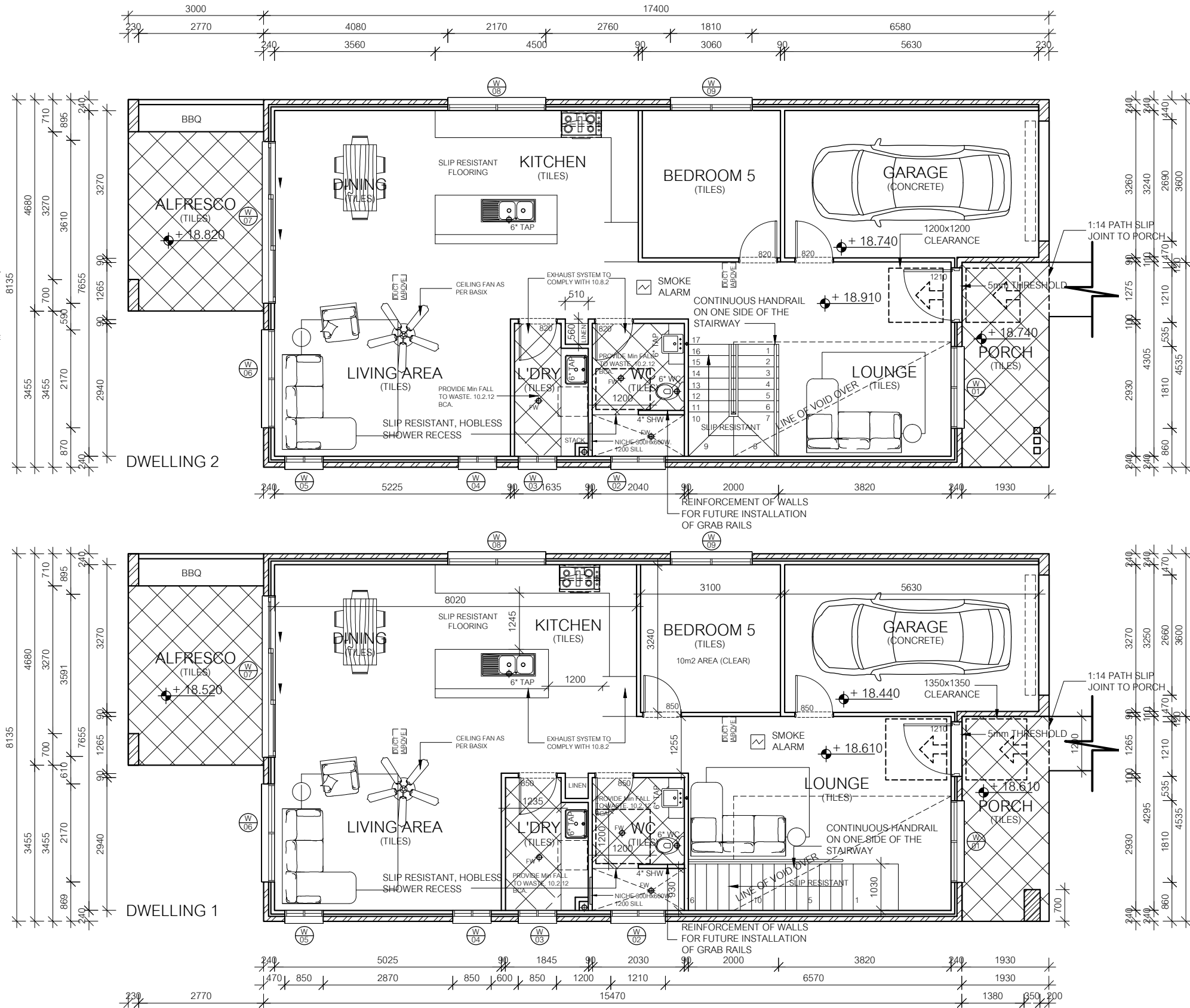
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LEGEND

HWU Hot Water Unit
C/T Cook Top
UMO Under Mount Oven
WMO Wall Mount Oven
F/S Fridge Space (ventilated)
MW Microwave Oven
W/M Washing Machine Space
DW Dishwasher Space
W Window Code
FW Floor Waste

NATIONAL CONSTRUCTION CODE NOTES - VOLUME 2 BCA HOUSING PROVISIONS 2022 EDITION & RELEVANT AUSTRALIAN STANDARD NOTES:

- TERMITE MANAGEMENT SYSTEMS TO BE IMPLEMENTED AS PER AS 3660.1
- ALL MASONRY WALLS TO HAVE EXPANSION JOINTS TO COMPLY WITH BCA REQUIREMENTS
- MASONRY CONSTRUCTION TO COMPLY WITH AS3700
- GUTTERS AND DOWNPIPES TO COMPLY WITH AS3500.3 AND/OR 3500.5
- WET AREA CONSTRUCTION TO COMPLY WITH AS 3740
- COMMON WALL FIRE SEPERATION TO BE CONSTRUCTED TO COMPLY WITH PART 9.3.1 OF THE HOUSING PROVISIONS 2022
- COMMON WALL SOUND SEPERATION TO BE CONSTRUCTED TO COMPLY WITH PART 10.7.1 OF THE HOUSING PROVISIONS 2022
- SMOKE ALARMS ARE TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF PART 9.5.4 OF THE HOUSING PROVISIONS 2022
- ALL FIRST FLOOR BEDROOM WINDOWS REQUIRING RESTRICTED OPENINGS MUST COMPLY WITH PART 11.3.7 & 11.3.8 OF THE HOUSING PROVISIONS 2022
- ALL STAIRS WILL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF PART 11.3.1 OF THE HOUSING PROVISIONS 2022
- THE FINISH OF ALL STAIRS WILL MEET THE REQUIREMENTS OF PART 11.2.4 OF THE HOUSING PROVISIONS 2022
- ALL LANDINGS PROVIDED WILL MEET THE REQUIREMENTS OF PART 11.2.5 OF THE HOUSING PROVISIONS 2022
- ALL BALUSTRADES SERVICING THE STAIRS WILL MEET THE REQUIREMENTS OF PART 11.3.4 OF THE HOUSING PROVISIONS 2022
- ALL HANDRAILS SERVICING THE STAIRS WILL MEET THE REQUIREMENTS OF PART 11.3.5 OF THE HOUSING PROVISIONS 2022
- CONDENSATION MANAGEMENT TO THE EXTERNAL WALL WILL COMPLY WITH CLAUSE 10.8.1 OF THE BCA AND ROOF TO COMPLY WITH CLAUSE 10.8.3 OF THE BCA



SWITCHES AND POWER POINTS

- a. Light switches should be positioned in a consistent location:
- between 900mm – 1100mm above the finished floor level; and
 - horizontally aligned with the door handle at the entrance to a room.

- b. Powerpoints should be installed not lower than 300mm above the finished floor level.

DOOR AND TAP HARDWARE

- a. Doorways should feature door hardware installed at between 900mm – 1100mm above the finished floor.

the handle clearances for D-pull style door hardware should be the same as AS1428.1 2009. AS 1428.1 2009 is the most relevant set of specifications aimed at providing the greatest access to the greatest number of people and as such is an appropriate standard to reference for this Element.



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SECTION 4.55

DETACHED TWO STOREY
DUAL OCCUPANCY

project address

20 POZIERES AVENUE
MILPERRA

client

MR HAYEK

drawing

project no.

GROUND FLOOR PLAN

scale A3

drawing no.

issue

1:100

003

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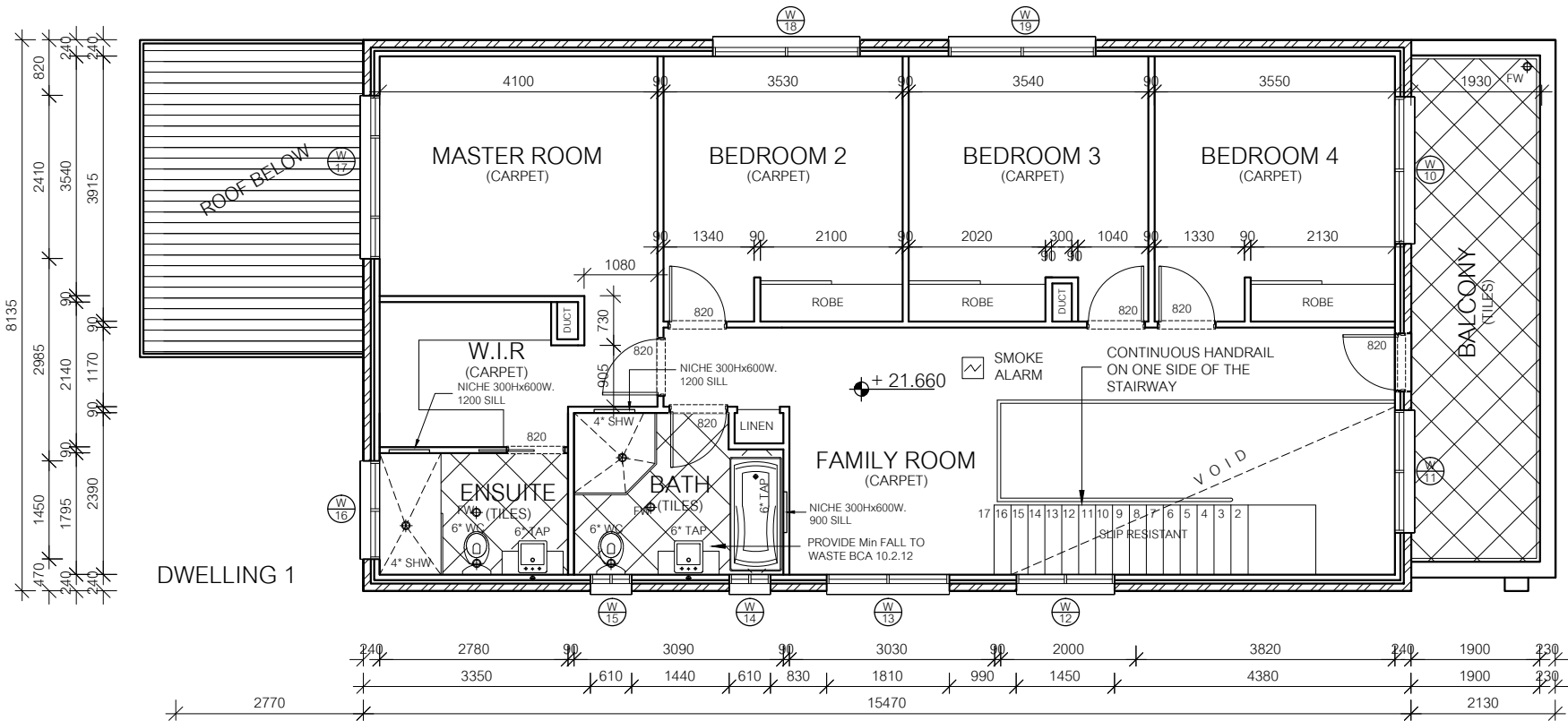
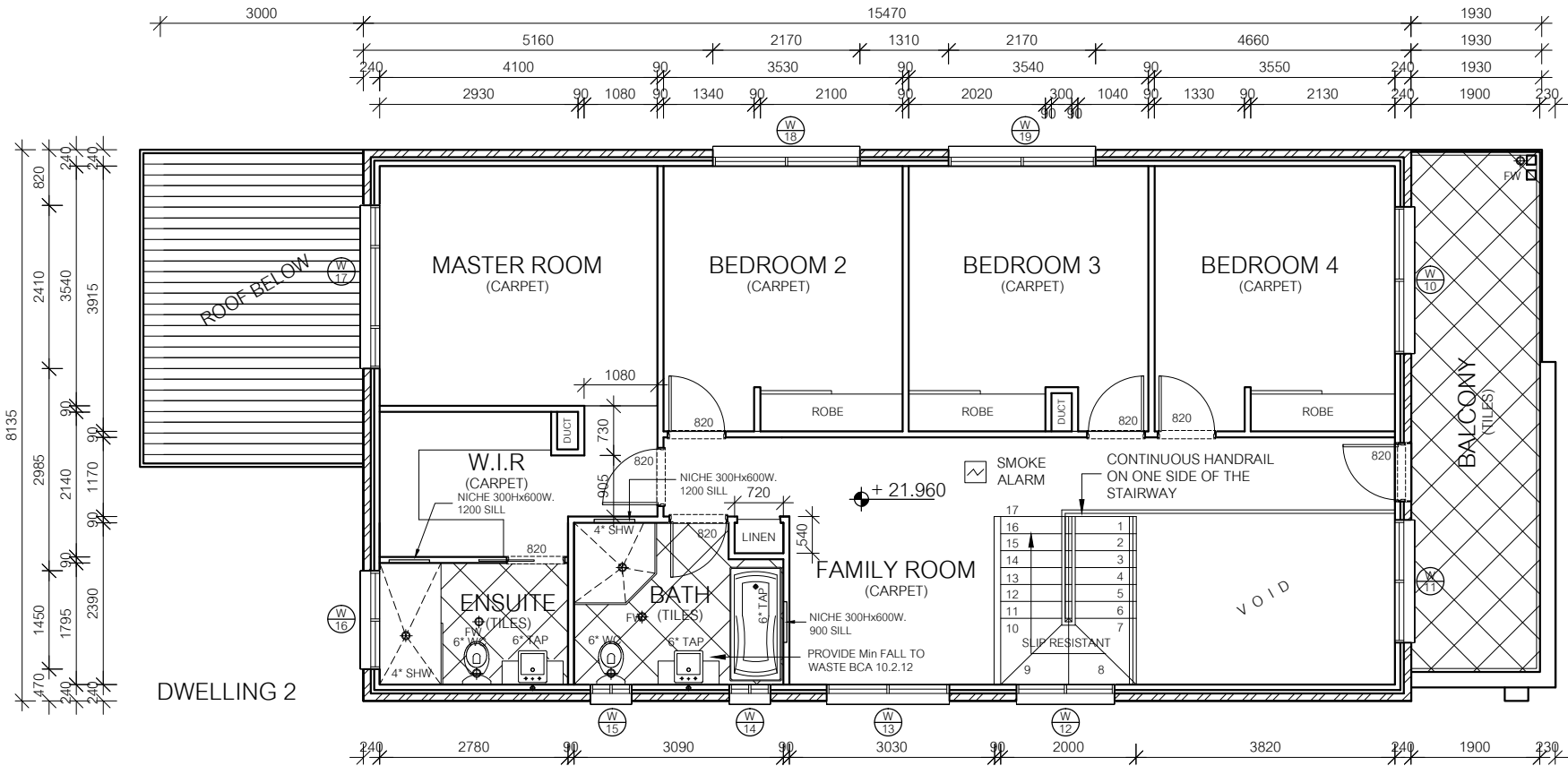
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DUAL OCCUPANCY

project address

20 POZIERES AVENUE
MILPERRA

client

MR HAYEK

drawing

project no.

scale A3

FIRST FLOOR PLAN

drawing no.

issue

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1:100

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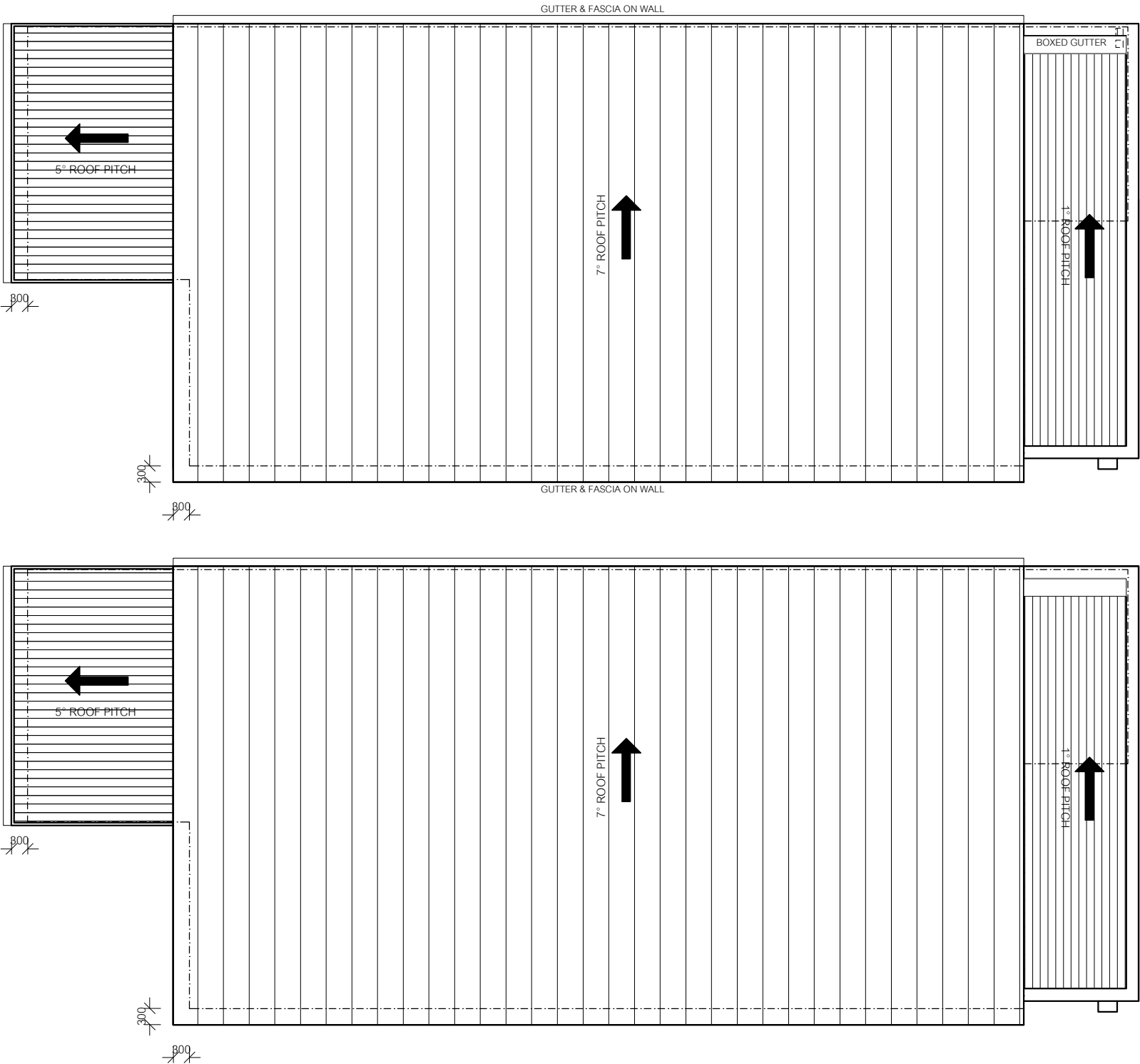


project details

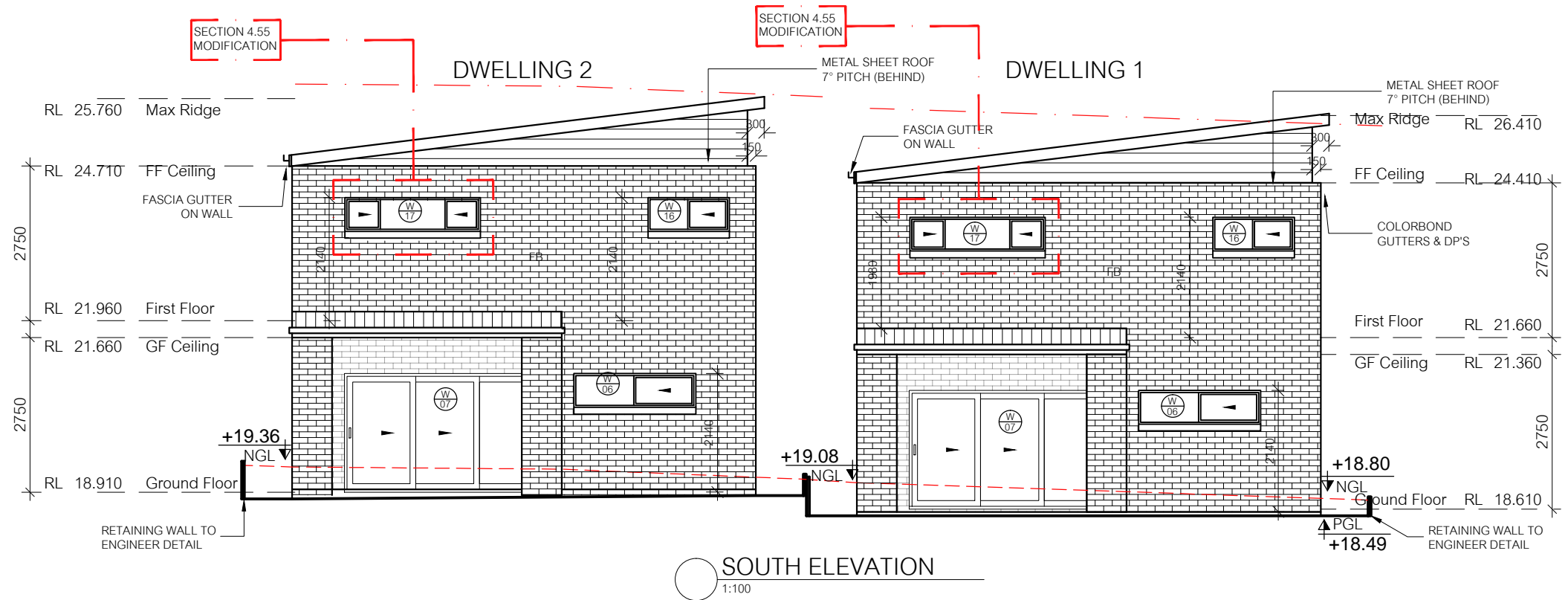
SECTION 4.55

DETACHED TWO STOREY
DUAL OCCUPANCY

project address	20 POZIERES AVENUE MILPERRA				drawing	ROOF PLAN			
client	MR HAYEK	project no.	23765	scale A3	1:100	drawing no.	005	issue	G



NGL	Natural Ground Level
PGL	Proposed Ground Level
W	Window Code
FB	Face Brick
RB	Rendered Brick
RS	Rendered Sheet
SS	Stacked Stone



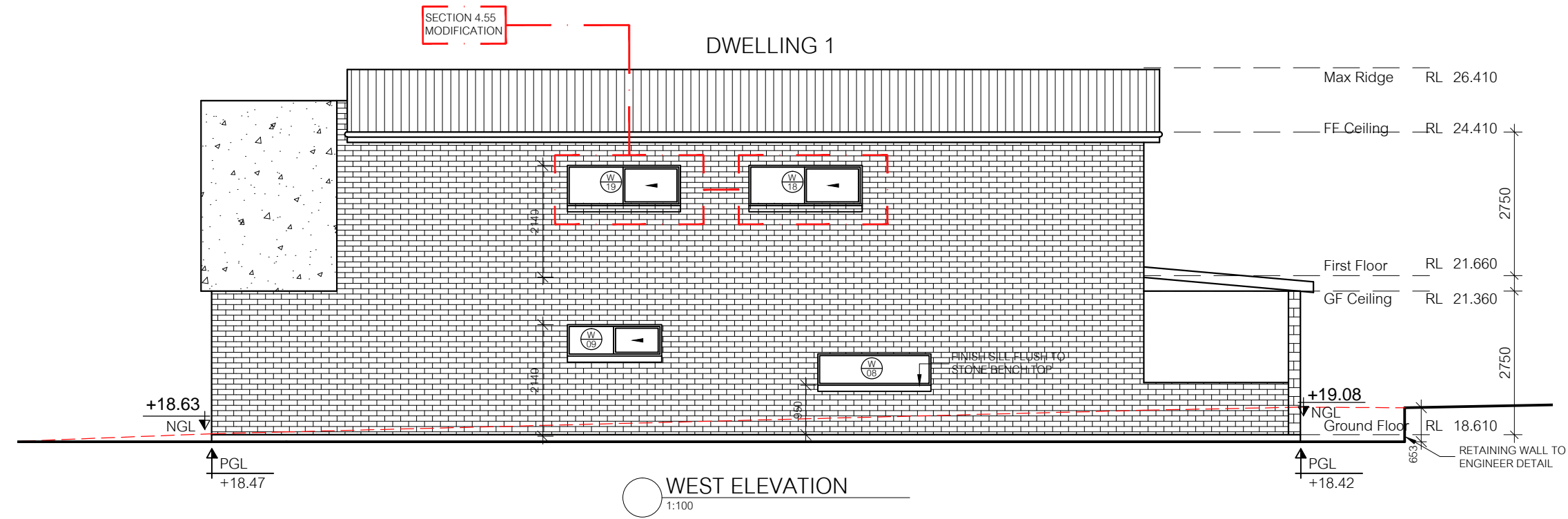
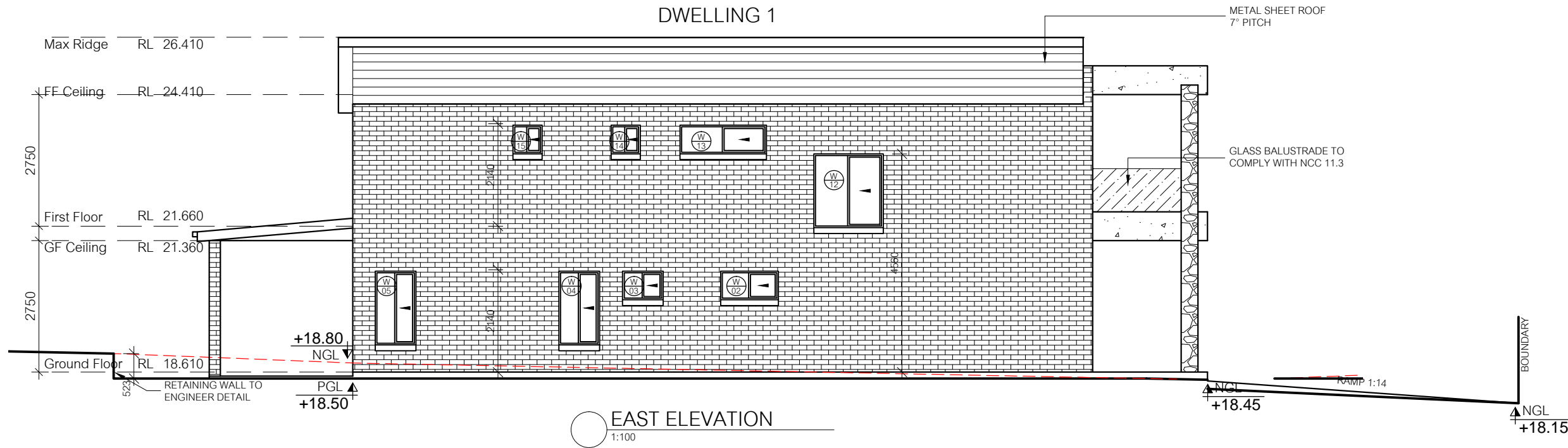
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DUAL OCCUPANCY

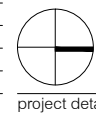
1:100 006 G

LEGEND	
NGL	Natural Ground Level
PGL	Proposed Ground Level
W	Window Code
FB	Face Brick
RB	Rendered Brick
SS	Stacked Stone



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SECTION 4.55

project details

DETACHED TWO STOREY
DUAL OCCUPANCY

project address

20 POZIERES AVENUE
MILPERRA

client

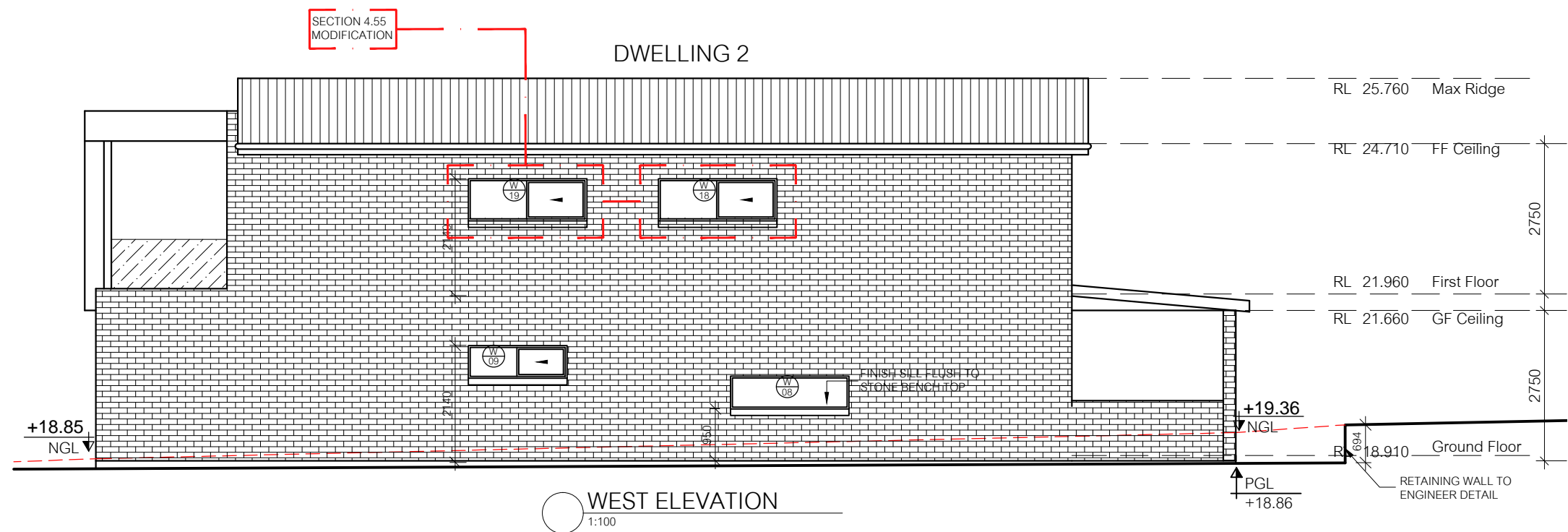
MR HAYEK

drawing

DWELLING 1
SIDE ELEVATIONS

project no. 23765
scale A3
drawing no. 007
issue G

LEGEND	
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PGL	Proposed Ground Level
W	Window Code
FB	Face Brick
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DUAL OCCUPANCY

project address

20 POZIERES AVENUE
MILPERRA

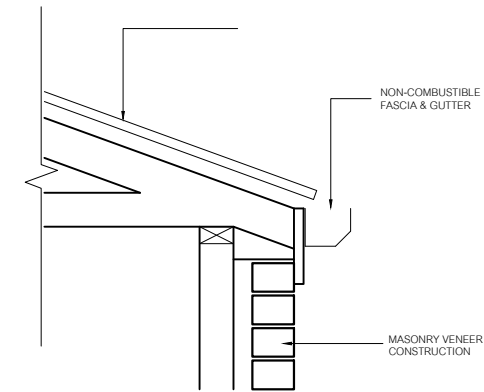
client

MR HAYEK

drawing

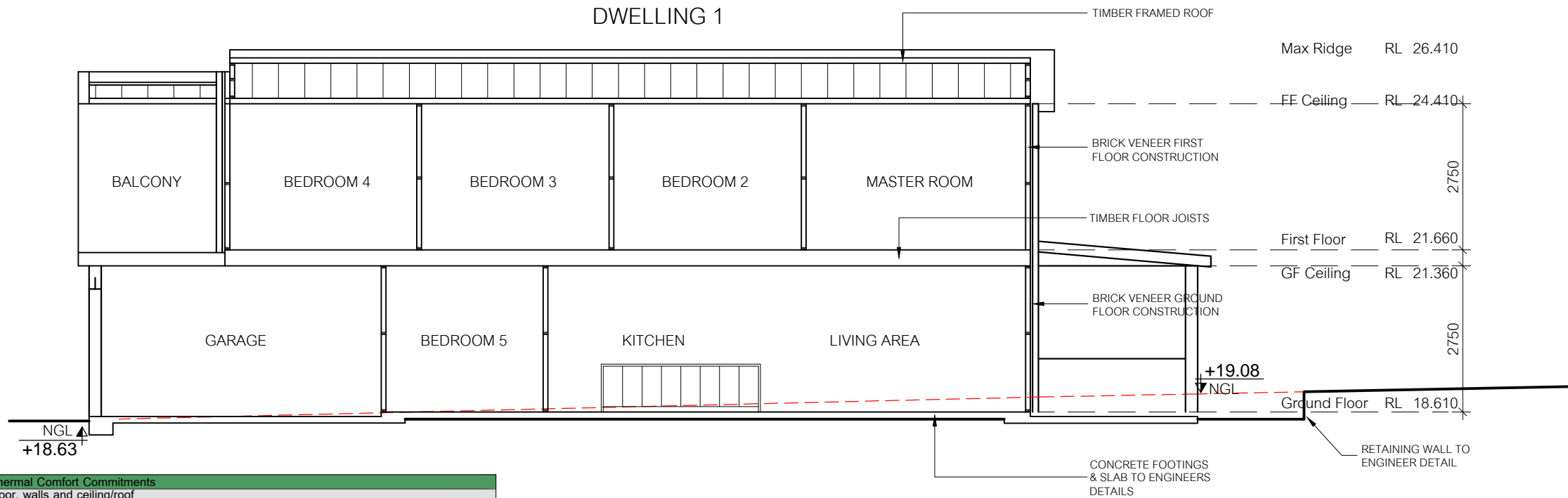
DWELLING 2
SIDE ELEVATIONS

project no. 23765
scale A3 1:100
drawing no. 008
issue G



GUTTER ON FACE OF WALL DETAIL
1:25

DWELLING 1



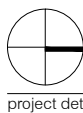
SECTION A:A
1:100

Thermal Comfort Commitments		
Floor, walls and ceiling/roof		
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below. The applicant must adopt one of the options listed in the tables below to address thermal bridging in metal framed floor(s), walls and ceiling/roof of the dwelling. The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.		
The applicant must install at least one ceiling fan in at least one daytime habitable space, such as living room. • The minimum number and diameter of ceiling fans in a daytime habitable space must be installed in accordance with the ABCB Housing Provisions (Part 13.5.2) of the National Construction Code .		
Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground, waffle pod slab.	nil;not specified	-
floor - above habitable rooms or mezzanine, treated softwood; frame: timber - H2 treated softwood.	nil;none	-
floor - suspended floor above garage, treated softwood; frame: timber - H2 treated softwood.	nil;none	-
garage floor - concrete slab on ground, 30% cement substitute.	not specified	-
external wall: brick veneer; frame: timber - H2 treated softwood.	2.94 (or 3.50 including construction);fibreglass batts or roll + reflective foil in the cavity	wall colour: Medium (solar absorptance 0.48-0.7)
external garage wall: brick veneer; frame: timber - H2 treated softwood.	fibreglass batts or roll + reflective foil in the cavity	-
internal wall shared with garage: plasterboard; frame: timber - H2 treated softwood.	nil;fibreglass batts or roll	-
internal wall: plasterboard; frame: timber - H2 treated softwood.	fibreglass batts or roll	-
ceiling and roof - flat ceiling / flat roof, framed - metal roof, timber - H2 treated softwood.	ceiling: 5.2 (up), roof: foil/ sarking ;ceiling: fibreglass batts or roll; roof: foil/sarking.	roof colour: medium (solar absorptance 0.48-0.59); 0.5 to ≤ 1.0% of ceiling area uninsulated



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SECTION 4.55

DETACHED TWO STOREY
DUAL OCCUPANCY

project address

20 POZIERES AVENUE
MILPERRA

client

MR HAYEK

drawing

project no.

SECTIONS & DETAILS

scale A3 drawing no. issue

23765 1:100 009 G

NOTES:

WINDOW AND DOOR OPENINGS TO BE CHECKED ONSITE PRIOR TO ORDERING DUE TO STRUCTURAL AND BUILDING DEVIATIONS.

WINDOW SIZES ARE NOMINAL AND FOR SOLE PURPOSE OF DEVELOPMENT ASSESSMENT. CONTRACTOR TO LIAISE WITH WINDOW MANUFACTURER FOR SPECIFIC SIZES TO SUIT OPENINGS.

- ALL DIMENSIONS TO BE MEASURED ON SITE PRIOR TO MANUFACTURING.
- ALL GLAZING & FRAME ARE TO BE IN ACCORDANCE WITH BASIX / NATHERS / ABSA CERTIFICATES.
- IF ANY INCONSTANCIES OF THE THERMAL RATINGS BETWEEN BASIX, ALTERNATIVE REPORTS, BUSH FIRE STANDARDS AND ACOUSTIC REPORTS, THE REPORT SPECIFYING THE HIGHER RATING SHALL PREVAIL.
- ALL DOORS/ WINDOWS VIEWED FROM OUTSIDE UNLESS OTHERWISE STATED.
- ALL THE INTERNAL DOORS ARE 2.1M IN HEIGHT UNLESS SPECIFIED.
- PROVIDE SHOP-DRAWINGS FOR BUILDING DESIGNERS APPROVAL BEFORE COMMENCING ANY WORK.

DWELLING 1

WINDOW SCHEDULE (BRICK OPENINGS)

Window Code	Orientation	Height	Width	Area (m2)	Type	QTY
GROUND FLOOR						
W01	N	2060	1810	3.73	'REFER TO BASIX REPORT'	x1
W02	E	600	1210	0.73	'REFER TO BASIX REPORT'	x1
W03	E	600	850	0.51	'REFER TO BASIX REPORT'	x1
W04	E	1540	850	1.31	'REFER TO BASIX REPORT'	x1
W05	E	1540	850	1.31	'REFER TO BASIX REPORT'	x1
W06	S	600	2170	1.30	'REFER TO BASIX REPORT'	x1
W07	S	2140	3610	7.73	'REFER TO BASIX REPORT'	x1
W08	W	600	2170	1.30	'REFER TO BASIX REPORT'	x1
W09	W	600	1810	1.09	'REFER TO BASIX REPORT'	x1

FIRST FLOOR

W10	N	1715	2170	3.72	'REFER TO BASIX REPORT'	x1
W11	N	1715	1810	3.10	'REFER TO BASIX REPORT'	x1
W12	E	1540	1450	2.23	'REFER TO BASIX REPORT'	x1
W13	E	600	1810	1.09	'REFER TO BASIX REPORT'	x1
W14	E	600	610	0.37	'REFER TO BASIX REPORT'	x1
W15	E	600	610	0.37	'REFER TO BASIX REPORT'	x1
W16	S	600	1450	0.87	'REFER TO BASIX REPORT'	x1
W17	S	770	2410	1.86	room area 14.52sq.m(1.46required)	x1
W18	W	770	2170	1.67	room area 13.85sq.m(1.39required)	x1
W19	W	770	2170	1.67	room area 13.85sq.m(1.39required)	x1

DOOR SCHEDULE (BRICK OPENINGS)

D1	N	2400	1210		ENTRY DOOR	x1
GD	N	2400	2690		GARAGE DOOR	x1

DWELLING 2

WINDOW SCHEDULE (BRICK OPENINGS)

Window Code	Orientation	Height	Width	Area (m2)	Type	QTY
GROUND FLOOR						
W01	N	2060	1810	3.73	'REFER TO BASIX REPORT'	x1
W02	E	600	1210	0.73	'REFER TO BASIX REPORT'	x1
W03	E	600	850	0.51	'REFER TO BASIX REPORT'	x1
W04	E	1540	850	1.31	'REFER TO BASIX REPORT'	x1
W05	E	1540	850	1.31	'REFER TO BASIX REPORT'	x1
W06	S	600	2170	1.30	'REFER TO BASIX REPORT'	x1
W07	S	2140	3610	7.73	'REFER TO BASIX REPORT'	x1
W08	W	600	2170	1.30	'REFER TO BASIX REPORT'	x1
W09	W	600	1810	1.09	'REFER TO BASIX REPORT'	x1

FIRST FLOOR

W10	N	1715	2170	3.72	'REFER TO BASIX REPORT'	x1
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W12	E	1540	1450	2.23	'REFER TO BASIX REPORT'	x1
W13	E	600	1810	1.09	'REFER TO BASIX REPORT'	x1
W14	E	600	610	0.37	'REFER TO BASIX REPORT'	x1
W15	E	600	610	0.37	'REFER TO BASIX REPORT'	x1
W16	S	600	1450	0.87	'REFER TO BASIX REPORT'	x1
W17	S	770	2410	1.86	we	x1
W18	W	770	2170	1.67	room area 13.85sq.m(1.39required)	x1
W19	W	770	2170	1.67	room area 13.85sq.m(1.39required)	x1

DOOR SCHEDULE (BRICK OPENINGS)

D1	N	2400	1210		ENTRY DOOR	x1
GD	N	2400	2690		GARAGE DOOR	x1

General

Maintenance shall mean the care and maintenance of the landscape works by accepted horticultural practice as rectifying any defects that become apparent in the landscape works under normal use. The landscape contractor shall attend the site on a weekly basis to maintain the landscape works for the full term approved at CC stage of the maintenance period (commencing from practical completion).

During the term of the maintenance period the Landscape Contractor shall undertake rubbish removal from the site on a weekly basis to ensure the site remains in tidy condition.

Maintain all landscape areas to ensure plant health and occupant safety for a period of 6 months beginning from date of practical completion to the satisfaction of Council. Maintenance will include but is not limited to the followings activities;

- Mowing
- Edging
- Top dressing
- Fertilizing all plant material
- Pruning
- Watering
- Replacing failed planting
- Treating for pests and diseases
- Topping up of mulch areas
- Weeding garden beds and turf areas.

Note: All trees will require regular ongoing observation and maintenance.

Mulching

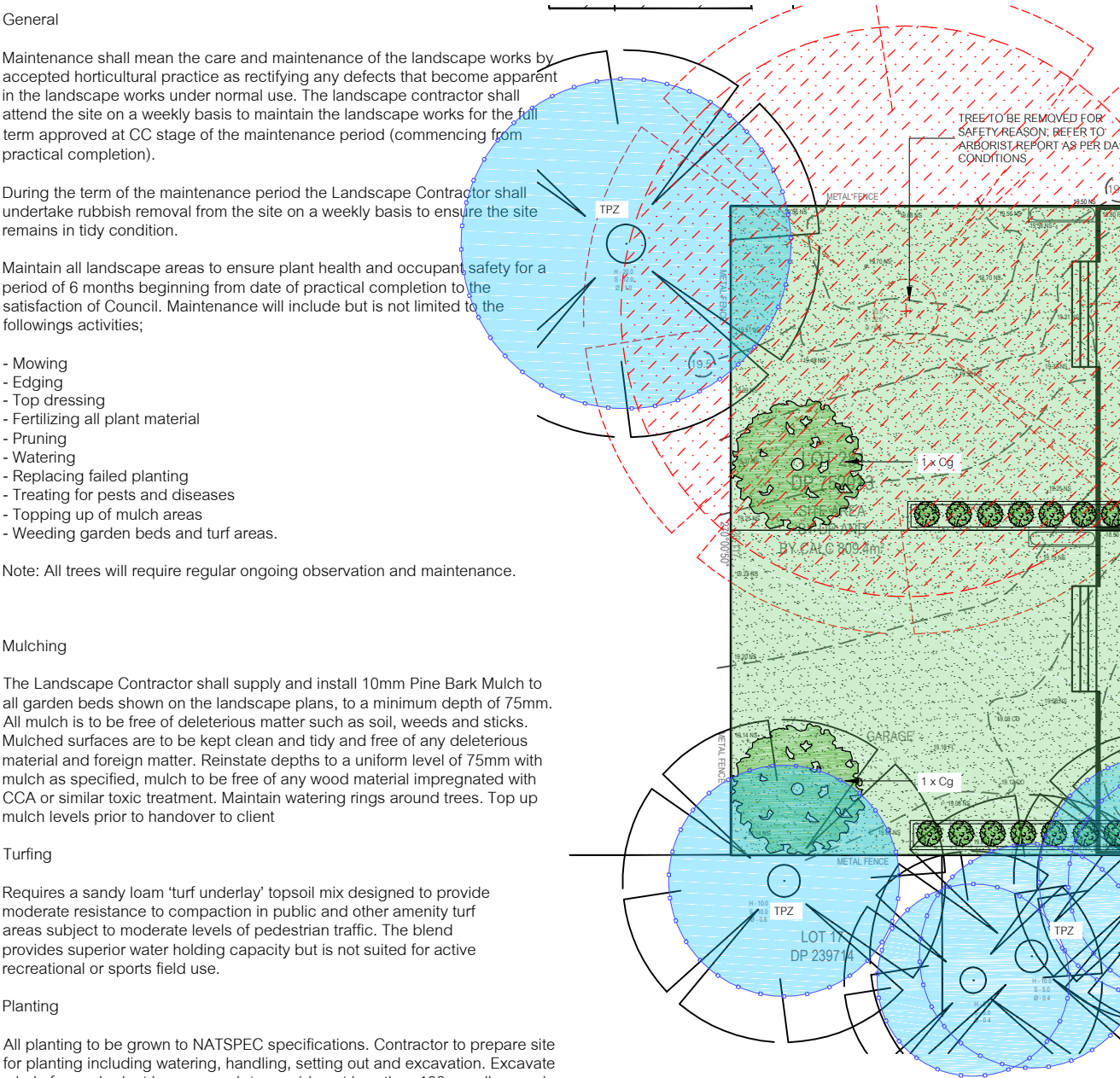
The Landscape Contractor shall supply and install 10mm Pine Bark Mulch to all garden beds shown on the landscape plans, to a minimum depth of 75mm. All mulch is to be free of deleterious matter such as soil, weeds and sticks. Mulched surfaces are to be kept clean and tidy and free of any deleterious material and foreign matter. Reinstate depths to a uniform level of 75mm with mulch as specified, mulch to be free of any wood material impregnated with CCA or similar toxic treatment. Maintain watering rings around trees. Top up mulch levels prior to handover to client

Turfing

Requires a sandy loam 'turf underlay' topsoil mix designed to provide moderate resistance to compaction in public and other amenity turf areas subject to moderate levels of pedestrian traffic. The blend provides superior water holding capacity but is not suited for active recreational or sports field use.

Planting

All planting to be grown to NATSPEC specifications. Contractor to prepare site for planting including watering, handling, setting out and excavation. Excavate a hole for each plant large enough to provide not less than 100mm all around the root system of the plant. For tree planting each hole shall be dug with a shovel, backhoe or similar tool. Individual holes shall be excavated to allow root system to sit flat on the excavated hole and 400mm to each side of the root system. Backfill planting holes with existing site soil and topsoil as described in section 'Soil', plant / Tree shall be set plumb, with the root ball set slightly below the final soil level.

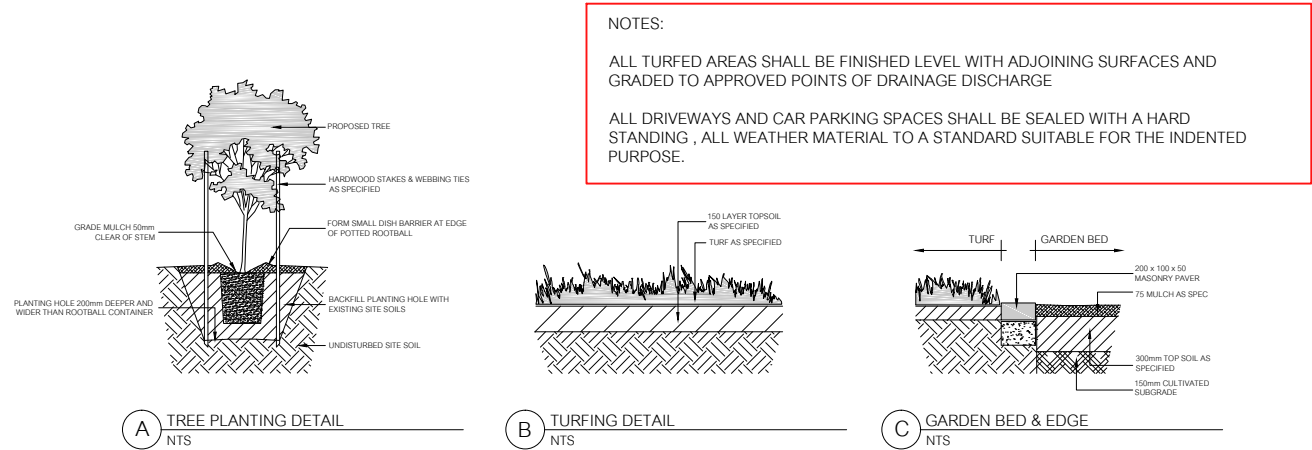


PLANTING SCHEDULE

Symbol	Botanical Name	Common Name	Mature Height	Spacing	Pot Size	Qty
TREES						
Ms	Magnolia soulangeana	Magnolia	5m	3m	75L	2
Cg	Casuarina glauca	Swamp Oak	8m	5m	75L	2
SHRUBS						
Pr	Pittosporum revolutum (native)	Hairy Pittosporum	1m	0.5m	200mm	14
Rd	Rulingia dasyphylla (native)	Kerrawang	1.5m	0.5m	200mm	26
Cm	Clivia miniata	Bush Lilly	0.5m	0.5m	200mm	10
Ls	Lavandula stoechas	Spanish Lavender	0.7m	0.5m	200mm	34
Ye	Yucca Elephantipes	Spineless yucca	2m	1m	150mm	8
FERNS						
Aa	Adiantum aethiopicum	Madenhair Fern	0.3m	X	200mm	18
GROUND COVERS						
Pv	Pseuderanthemum variabile	Pastel Flower	0.1 - 0.3m	0.1	140mm	10
PM	Pebble Mulch					
GRASSES						
TURF	Stenotaphrum secundatum	Buffalo grass				

SURFACE TREATMENT LEGEND

STF	Synthetic Turf
TF	Turf
GE	Garden Edge (to detail)
CL	Clothes Line (to client requirements)
CB/TP	Colorbond / Timber Paling (1.8m high)
T	Tile (to client requirements)
RWT	Rain Water Tank
PV	Pavers
PP	Water Permeable Unit Paver
SC	Stenciled Concrete (Charcoal / gunmetal)
DGR	Decomposed Granite finish
TPF	Temporary Protection Fence (1.8m chainmesh)
TD	Timber Deck
PLTR	Planter (to detail)
CP	Concrete Path



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SECTION 4.55

project details

project address

20 POZIERES AVENUE
MILPERRA

client

DETACHED TWO STOREY
DUAL OCCUPANCY

drawing

MR HAYEK 23765

project no.

23765

scale A3

1:200

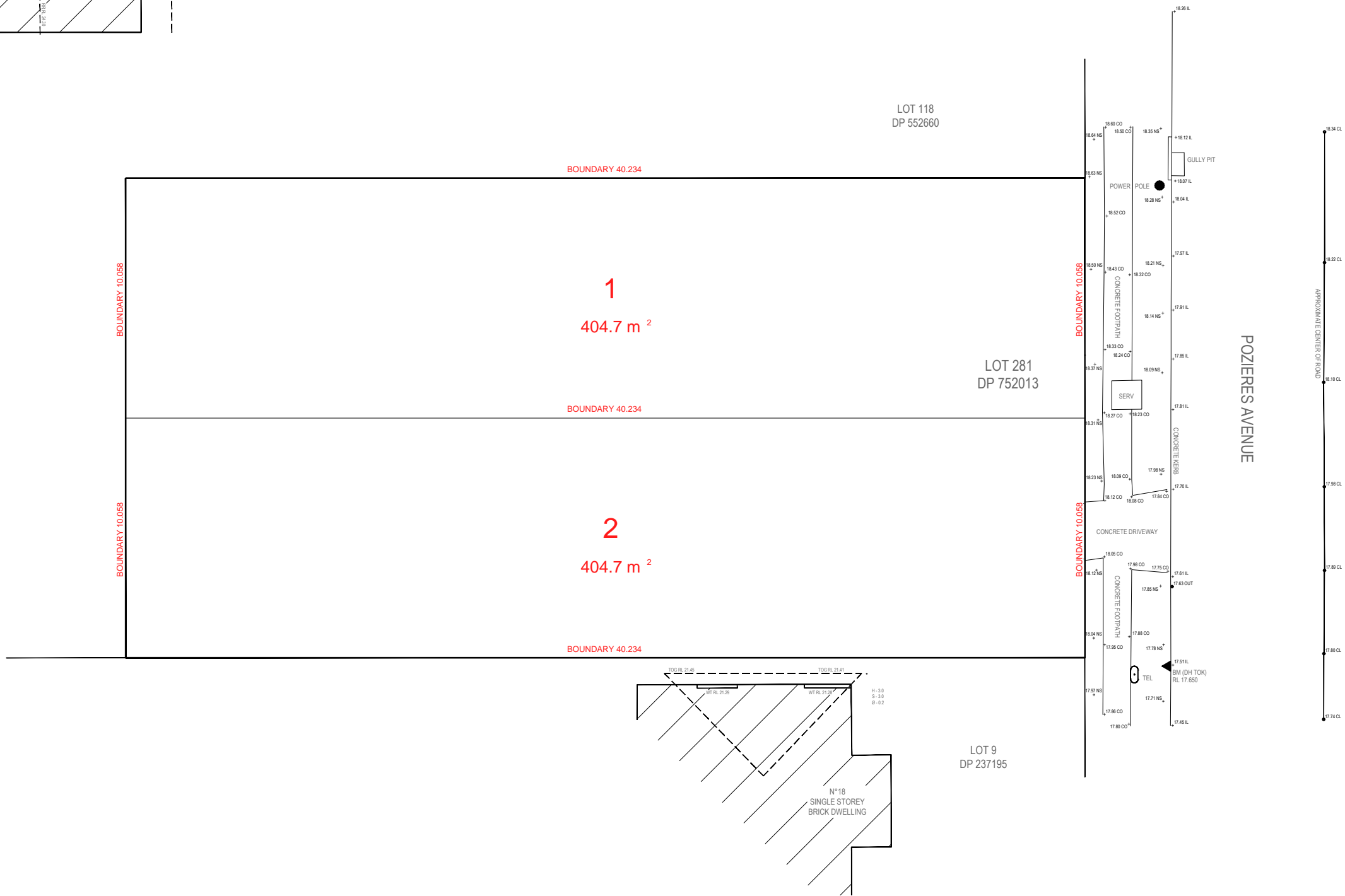
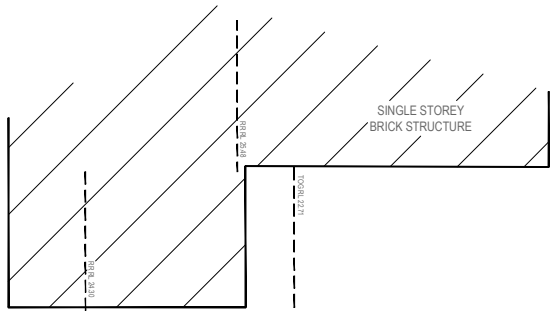
drawing no.

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issue

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LANDSCAPE PLAN



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DUAL OCCUPANCY

project address
20 POZIERES AVENUE
MILPERRA

client

MR HAYEK

drawing

SUBDIVISION PLAN

project no. scale A3 drawing no. issue

23765 1:200 011 G